

GRADING, EXCAVATION, SITEWORK REQUIREMENTS

No grading, excavation, or earthwork construction, including fills and embankments shall be performed without first obtaining a permit. Utmost attention to dust containment is required at all times. Exemptions include: Excavations for wells, or trenches for utilities.

The following is an outline of the requirements that need to be addressed when submitting for a permit. The outline is for reference purposes only and may not represent all of the requirements for approval.

1. General Requirements for Submittal:

- Provide two sets of plans
- When required by the Building Dept., the plans and specifications shall be prepared and signed by an individual licensed by the State of Nevada to prepare such plans and specifications.
- The following information must be clearly and accurately shown on the plan.
 - A plan showing the general vicinity of the site (refer to Figure 1). Show north arrow.
 - Site plan drawn to scale showing: (refer to Figure 2)
 - Owner's name
 - Mailing Address
 - Project Address
 - Assessor's parcel number
 - Contact information (e-mail, phone #, fax #, etc.)
 - Location of all proposed and existing structures
 - The location of any structures on adjacent parcels that are within 15 feet of the proposed site's parcel boundary.
 - Existing and proposed surface drainage patterns
 - Sufficient elevation data to show the drainage will work, as proposed.
 - The quantities of excavation, fill, and disturbed surface area shall be calculated and shown.
 - If material is to be removed from the site, the amount to be removed, the proposed disposal area.
 - Proposed Best Management Practices (BMP's) for controlling dust.
 - Proposed BMP's for controlling water or wind erosion if the disturbed area will be left undeveloped for over 30 days.

2. Other General Requirements

- If the Project is located on an acre or more of land the applicant must:
 - Submit the above to the Planning Dept. for a site plan review
- If the Project will disturb an acre or more of land
 - Contact the Nevada Division of Environmental Protection to obtain a Notice of Intent (NOI) and construction storm water discharge permit (or waiver)
- If the Project will disturb 5 or more acres the applicant must
 - Contact the Nevada Division of Environmental Protection, Bureau of Air Pollution Control to obtain a dust control permit.

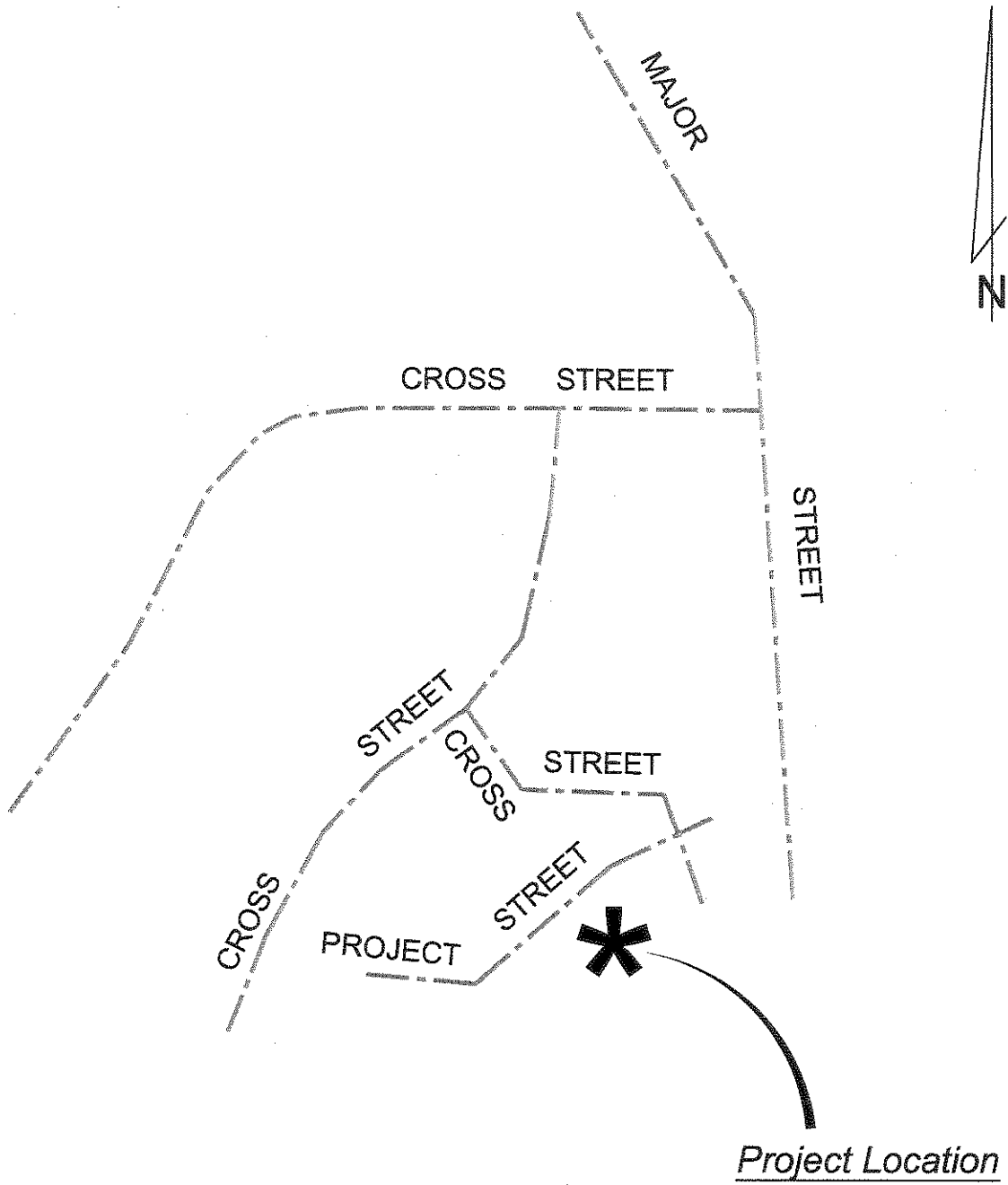
3. If a structure is in a **FEMA** flood plain, compliance with applicable standards will be required.

GRADING, EXCAVATION, SITEWORK REQUIREMENTS

- A. **Protection of Adjoining Property During Construction:** Adjoining public and private property shall be protected from damage during construction, remodeling and demolition work. Provisions shall be made to control water runoff and erosion during construction. If adjoining buildings or structures can be effected from excavation, the person making or causing the excavation to be made shall provide written notice to the owners of adjoining buildings advising them that the excavation is to be made and that the adjoining buildings should be protected. Said notification shall be delivered not less than 10 days prior to the scheduled starting date of the excavation.
- B. **Slope limits:** Slopes for **permanent fill or excavations** shall not be steeper than one unit vertical in two units horizontal (50 %) unless a soil investigation report is submitted. (If the slope is steeper than 3 horizontal to 1 vertical (33%) drainage facilities and terracing must be provided.) If you are unable to meet these requirements, provisions must be made to provide a permanent method of protection prior to the final inspection.
- Exception: A cut surface may be at a slope of 1.5 horizontal to 1 vertical if the slope does not support a structure or surcharge, **and** it is adequately protected against erosion, **and** it is not more than 8' in height **and** it is pre-approved by the Building Dept.
- C. **Building footing clearance from cut and fill slopes.** When footings are located adjacent to a slope steeper than 1:3 (1 vertical to 3 horizontal) either at the top or the bottom, special clearances between the building and the sloping surfaces are required to protect against slope drainage, erosion and shallow failures.
- A. Buildings located at the bottom of the slope shall be set back from the slope a distance of $H/2$ (height of slope divided by 2), but need not exceed 15' max.
- B. Buildings located at the top of the slope shall be set back from the slope a distance of $H/3$ (height of the slope divided by 3), but need not exceed 40' max.
- Where a retaining wall is constructed at the toe of the slope, the height of the slope shall be measured from the top of the wall to the top of the slope. If necessary, make provisions to install a retaining wall (or other approved method) to reduce the slope.
- D. **Property line set backs from cut and fill slopes.**
- The setback at the top of a cut slope shall not be less than the height of the slope divided by five. In no case can the setback be less than 2' but it need not exceed 10'.
- Where required to protect adjacent properties at the bottom of a slope from adverse effects of grading additional protection may be required which may include, but shall not be limited to:
1. The setback at the bottom of a cut or fill slope shall not be less than the height of the slope divided by 5'. In no case can the setback be less than 2' but it need not exceed 20'.
 2. Retaining walls or similar construction,
 3. Erosion protection of the fill slope, or
 4. Provision for the control of surface waters.
- E. **Drainage across property lines.** Drainage across property lines shall not exceed that which existed prior to grading. Excess or concentrated drainage shall be contained on site or directed to an approved drainage facility. Erosion of the ground in the area of discharge

shall be prevented by installation of non-erosive down drains or other devices.

- F. **Erosion control.** The faces of cut and fill slopes shall be prepared and maintained to control erosion. This control may consist of effective planting. Erosion control shall be installed as soon as practicable and **prior to calling for final inspection.**



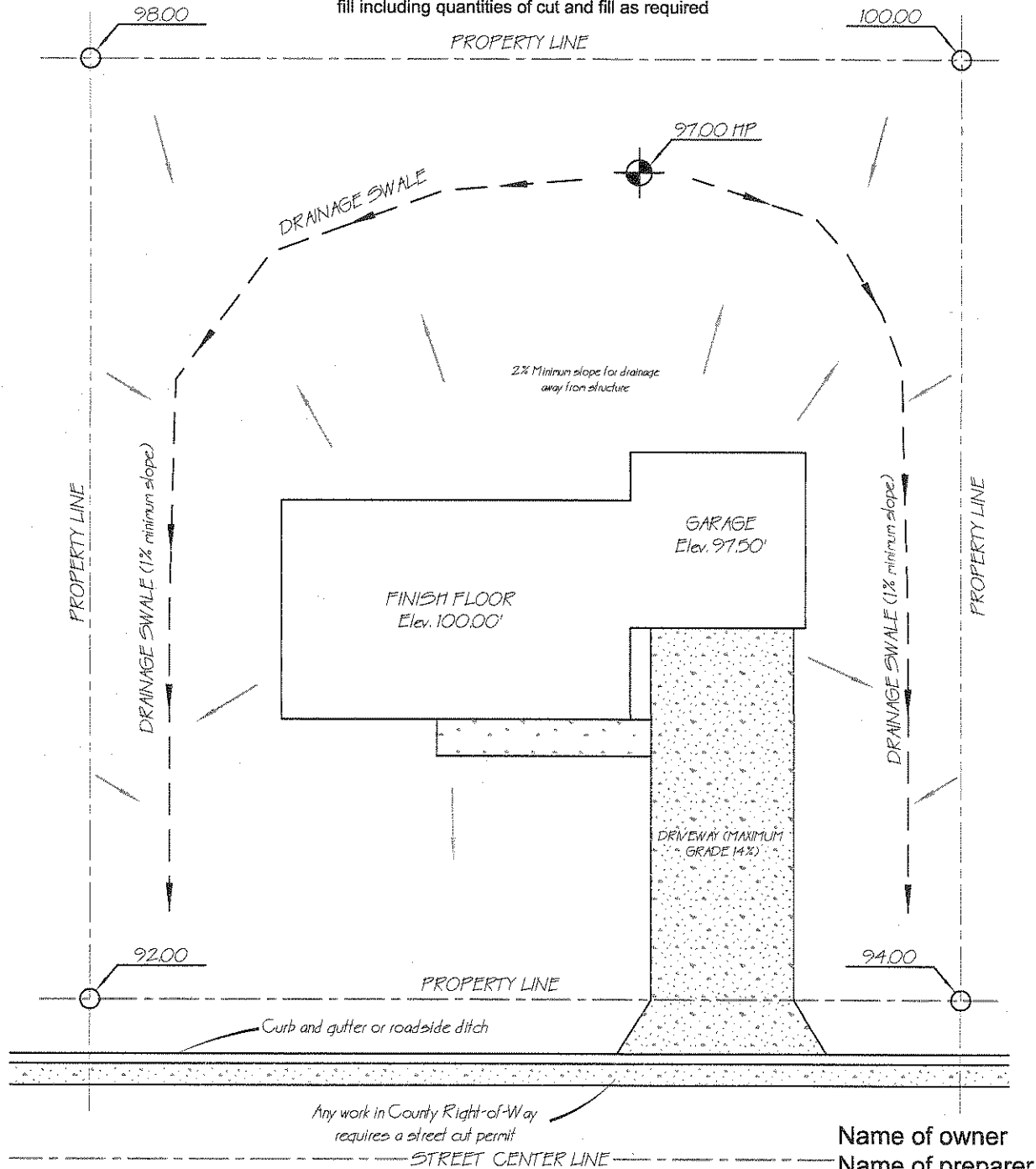
VICINITY MAP
NOT TO SCALE

FIGURE 1



TYPICAL SITE PLAN

- NOTES: 1) Show contours as required
 2) Show existing easements
 3) Show existing drainages
 4) Show limiting dimensions and depth of cut and fill including quantities of cut and fill as required



Name of owner
 Name of preparer

FIGURE 2



SETBACKS PROPERTY BOUNDARY

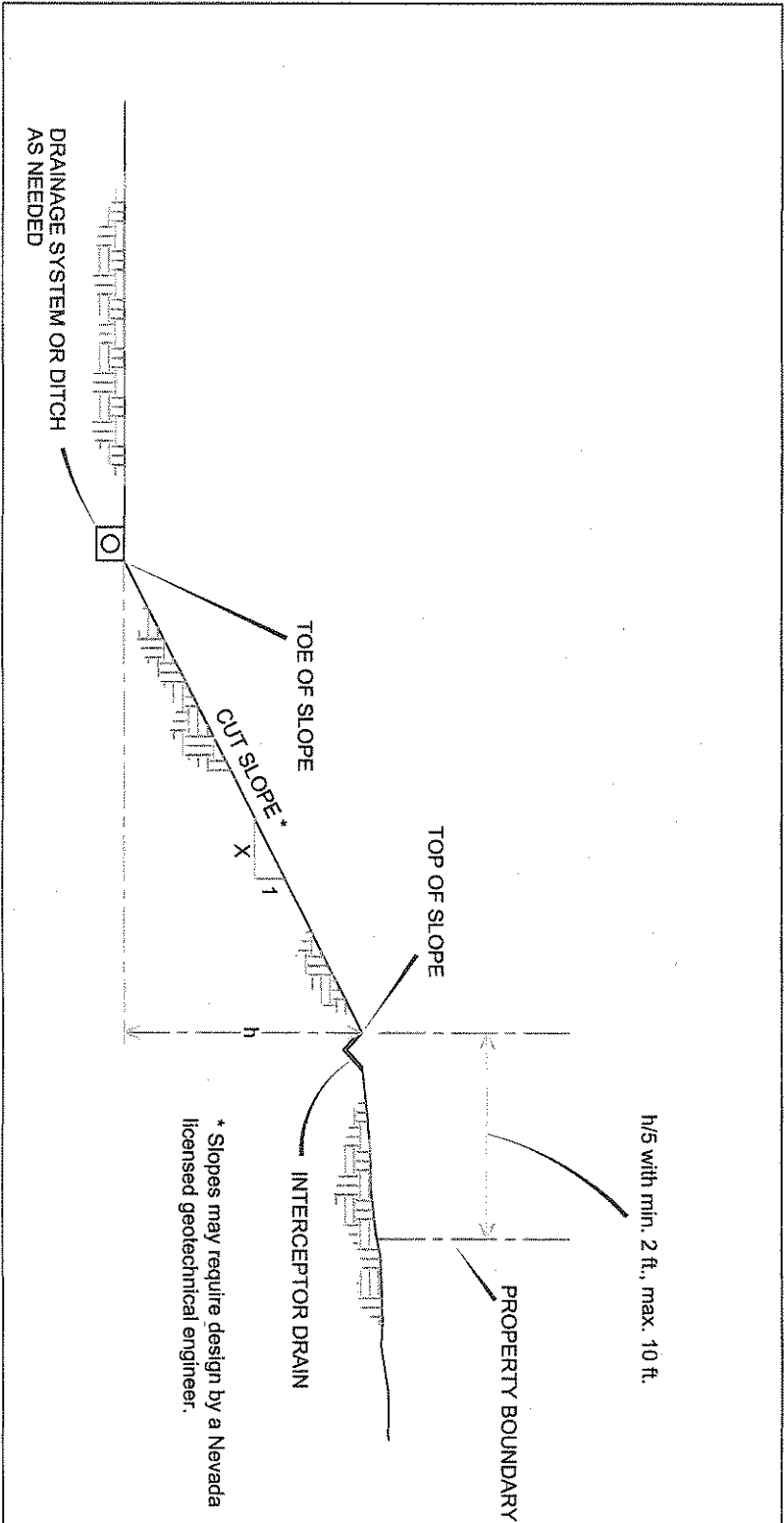


FIGURE 3A

SETBACKS PROPERTY BOUNDARY

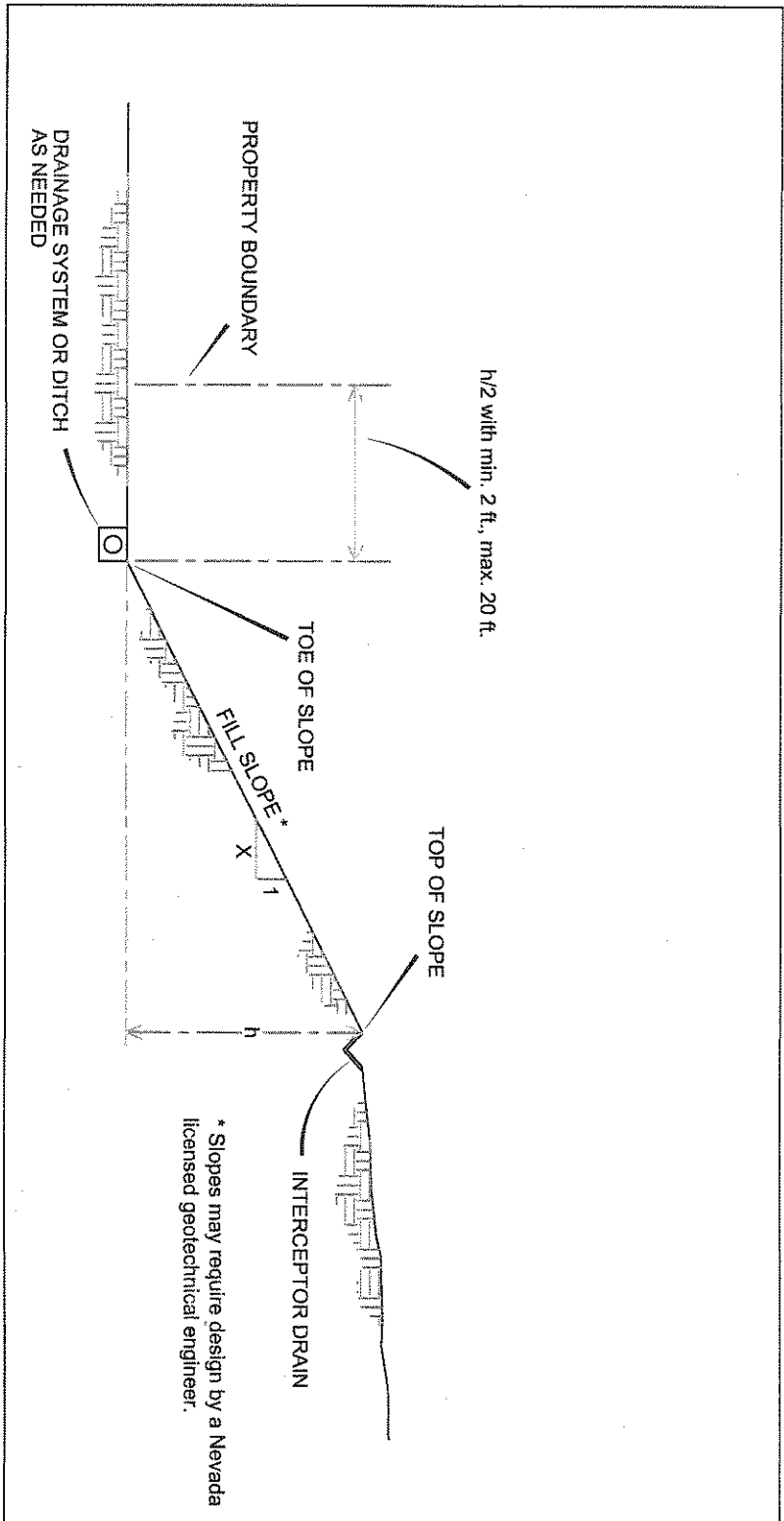


FIGURE 3B



SETBACKS STRUCTURES

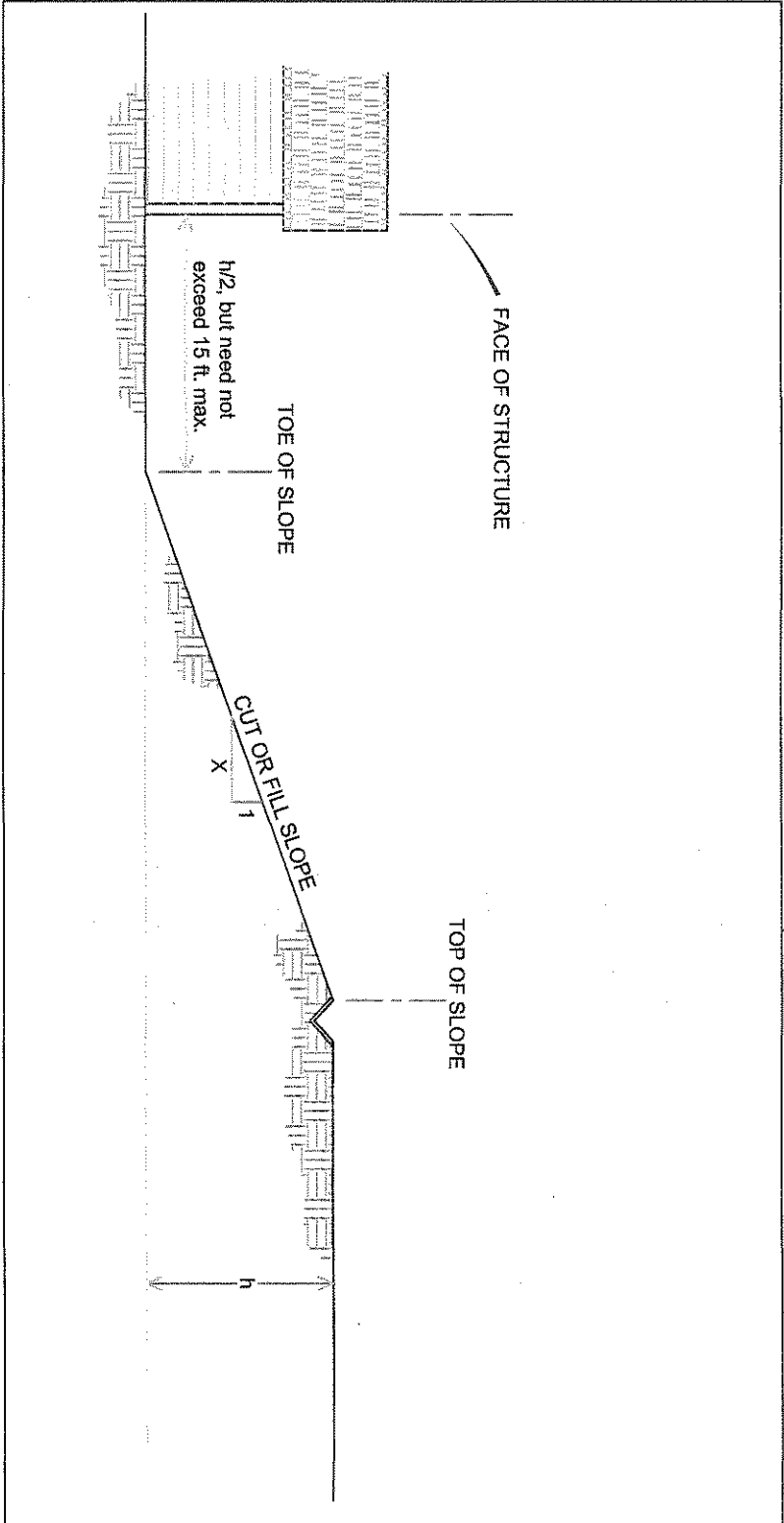


FIGURE 3C



SETBACKS STRUCTURES

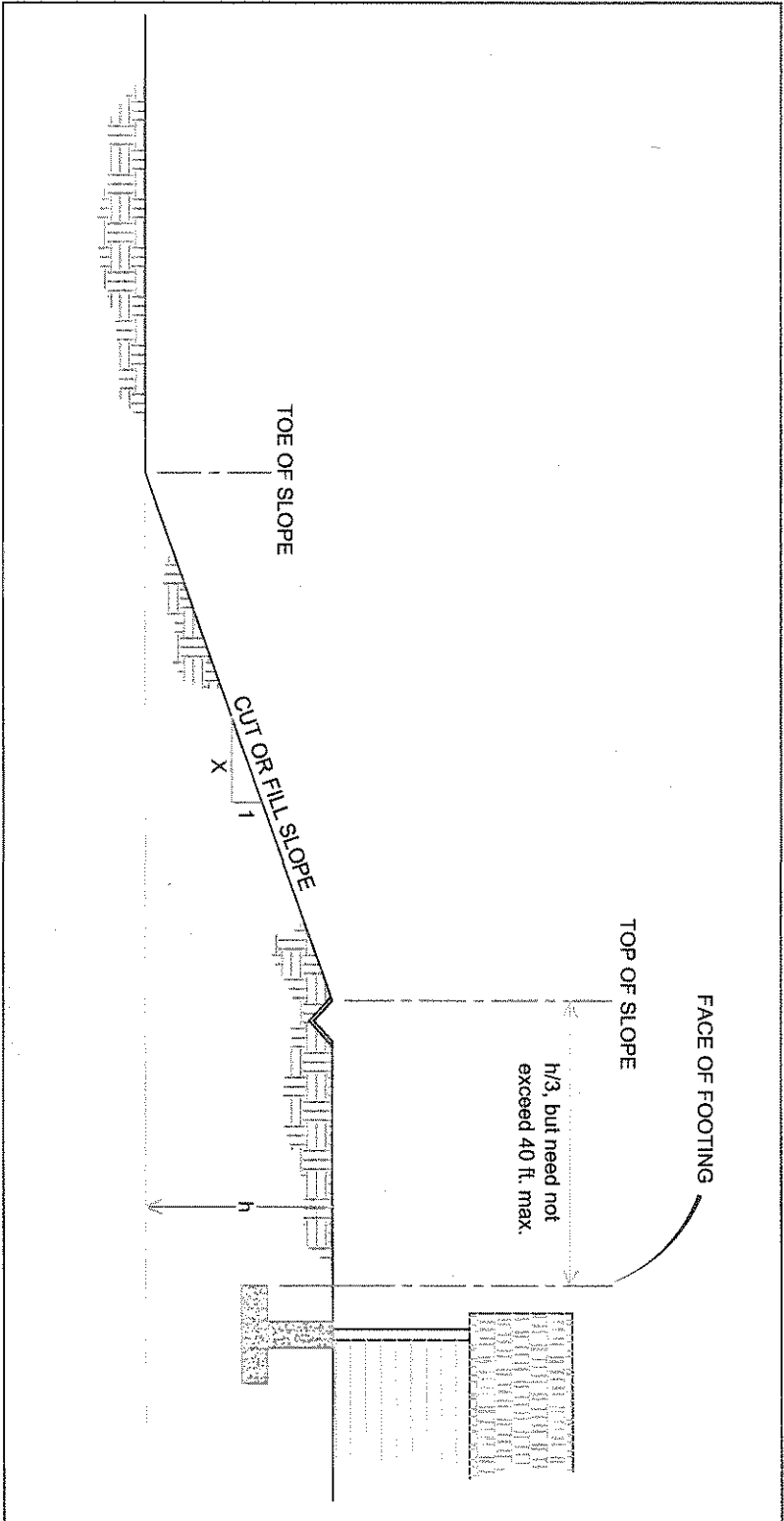


FIGURE 3D