

ADDITIONS (Residential)

Submit plans and specifications for the new structure (see Plans and Supporting Documentation requirements). In addition to the plans and specifications submitted for the new structure, provide a floor plan of the existing structure illustrating the following:

1. Relocation of any **existing** water heaters, furnaces, baseboard heaters, electrical panels, lights, switches, outlets, plumbing, etc. in the existing house.
2. Any alterations to the existing house floor plan.
3. The size and use of any existing room that has a window or door that will be covered by the addition.
4. The size of any windows or doors that will be added, relocated or remain in the existing room covered by the addition.
5. The size of any openings between the existing house and the new addition and the width of the common wall. (Per IRC 303.2 "any room shall be considered as a portion of an adjoining room when at least one-half of the area of the common wall is open and unobstructed and provides an opening of not less than one-tenth of the floor area of the interior room but not less than 25 square feet".)

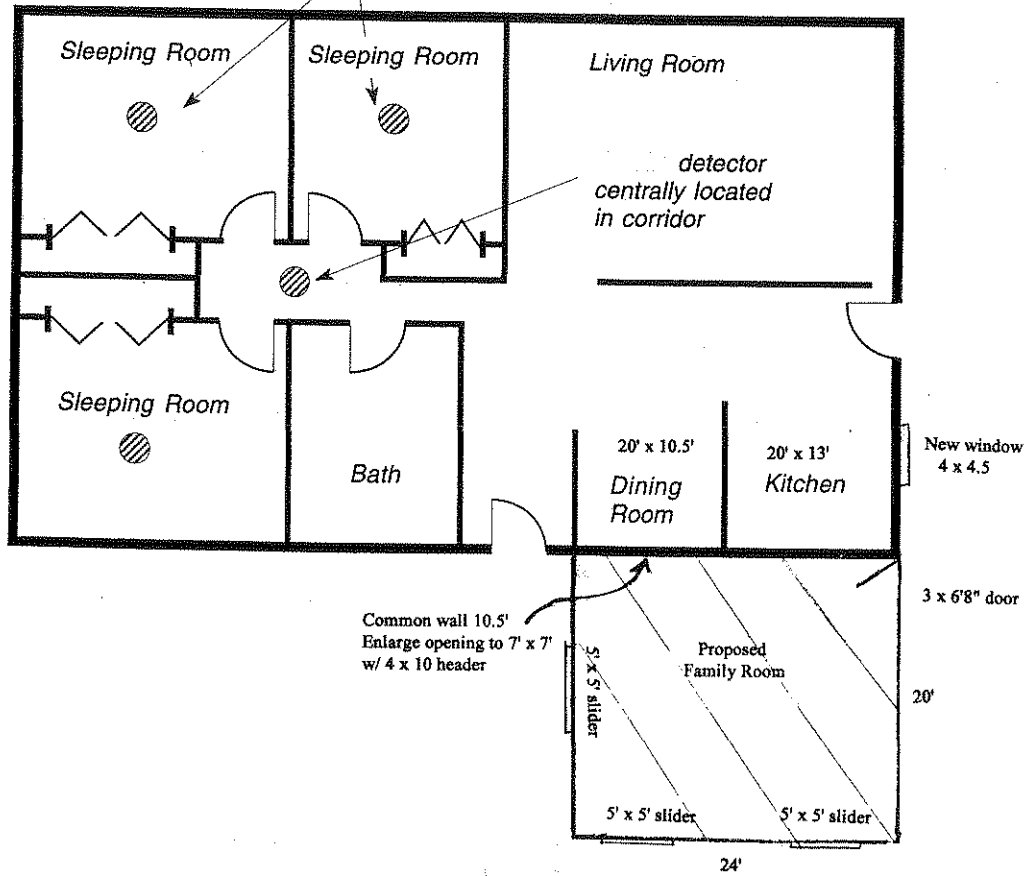
NOTE:

All rooms (except kitchens, bathrooms, hallways, storage, garages, or utility spaces) must have window areas equal to 8% of the floor area of the room (4% openable, with exception). In addition, bedroom egress windows must have a min. of 5.7 s.f. net **clear opening** (5 s.f. for grade floor openings) with a min. clear width of 20", a min. clear height of 24" and a maximum sill height of 44". *Be aware that not all 3 x 4 windows (12 s.f.) will have a net **clear** opening of 5.75 s.f. Check with the manufacturer before purchasing.*

*Smoke alarms must be installed in all new and **existing** sleeping rooms, hallways, or other rooms giving access to the sleeping rooms, and on each floor of the house. Smoke alarms are to receive their primary power from the building wiring (exception: existing areas that do not have a attic, crawl spaces or basement available which could provide access for hard wiring without the removal of interior finishes). Smoke alarms are to be interconnected in such a manner that the actuation of one alarm will activate all of the other alarms in the unit (exception: existing areas that do not have a attic, crawl spaces or basement available which could provide access for hard wiring without the removal of interior finishes).*

Carbon Monoxide Alarms are to be installed outside of each separate sleeping area (in the immediate vicinity of the bedrooms) in dwelling units that have fuel-fired appliances in the dwelling or dwelling units with attached garages. (IRC 315.1; WMCA 15.04)

Smoke detectors in each sleeping room



PLANS AND SUPPORTING DOCUMENTATION (*must be legible, and drawn to scale in ink*). Two (2) sets of building plans: Drawn to scale (in ink or reproduction) which include the following:

Completed submittal checklist

- _____ **Site Plan** - Drawn to scale. Include lot dimensions, street names, building footprint and location, easements, rights of way, all setbacks from property lines and existing structures, north arrow, and utility locations (i.e., sewer, water, gas, electric)

- _____ **Grading.** If grading or excavating occurs before a building permit is issued a grading permit is required.

- _____ **Foundation plan and footing details.** Show foundation size, depth, and anchor bolt size and spacing. Indicate all interior and exterior footings, isolated footings and load transfer footings (if on disturbed soil or backfill a licensed Nevada engineer shall design plans and compaction tests will be required). Where required, indicate method and locations of bracing on interior cripple walls.

- _____ **Braced walls** - material and location. You must show exact dimensions of braced wall panels less than 4' in width, and any alternate bracing methods used.

- _____ **Hold-down anchors.** Specify type and location (in conjunction with braced walls).

- _____ **Floor framing plan.** Specify joist size and spacing, support beam sizes and spans, floor sheathing product and thickness, etc. If using engineered products, such as Versa-lam beams or BCI floor joists, specify the type of product, flange/series, spacing - i.e., BCI 450, 9-1/2" @ 16" o.c.

- _____ **Roof framing plan.** Show all header and beam sizes. Show joist size, spacing, ridge board, roof sheathing product and thickness, etc. If pre-engineered trusses are used, provide truss calcs wet-stamped by an engineer licensed in the State of Nevada. Show overbuilds with size and spacing of joists.

- _____ **Construction Detail.** Show size and spacing of all structural members (cross section), roof pitch, coverings, insulation, hangars, H-clips, post caps, post bases, etc.

- _____ **Floor plan fully dimensioned** with all rooms labeled. **Please note that all portions of the building must be DRAWN TO SCALE.** If you enlarge the garage, or push out a wall, increase or decrease the size of a room, do not merely write in the new dimension. The plan must be redrawn to scale in order to determine bracing requirements. Show all window and door sizes, location of plumbing fixtures, appliances, fireplace/woodstoves, and kitchen islands, water heaters, mechanical equipment locations, and fire walls.

- _____ **Stair details**, if applicable. Show rise and run, headroom, width of stairs, landing width and depth, handrail height and dimension, guardrails, etc.

- _____ **Elevations** (front, rear, and sides) including labeling of building exterior finish.

- _____ **Basement** - elevations, indicating the height of backfill, and dampproofing/ waterproofing material.

addition

- _____ **Electrical** floor plan showing electrical outlets, lighting fixtures and equipment, smoke detectors, GFCI outlets, AFCI outlets, and electrical main service and subpanel size and location. An electrical calculation shall be submitted for houses with a 100-amp service, or for houses over 2,500 square feet with a 200-amp service.
- _____ **Plumbing** floor plan indicating the location of plumbing fixtures.
- _____ **Mechanical** floor plan. Indicate the location of heating/ac units, water heaters, washer/dryers, exhaust ducts, fans, and all mechanical equipment.
- _____ **Gas line schematic.** Indicate the type of gas appliances, BTU's, distance of each appliance to the meter, and the size of the gas line (this may be submitted prior to the rough inspection).
- _____ **Woodstove/pellet stove/gas fireplace** manufacturer's installation instructions.
- _____ **Irregular or unusual structural** designs shall be wet stamped by a Nevada engineer or architect.
- _____ **Outside structures or lawn irrigation systems.** Identify any fences, retaining walls, storage sheds, porches, patios, decks, and lawn irrigation systems on the site plan. Planning Dept. approval is required for fences over 6' in height and construction detail and a permit is required for fences over 7' in height, retaining walls over 4' in height (measured from the bottom of the footing to the top of the wall), all **attached** storage sheds, or **detached** storage sheds over 130 sf., all porches, and any patios or decks over 30" above grade. Specify the type of lawn irrigation backflow preventer that will be used.

NOTE: Any changes to the plan must be noted on the plan and/or submitted in writing. Changes may only be made by the person preparing the plans.

V. **NORMAL PROCESSING TIME**

The normal time for the plan review and permit process, not including any needed land use approvals, variances, encroachment permits, etc. is approximately 2 weeks, or 10 working days. If there are questions or problems with the plans during the plan review process, if the plans are not complete, or if there is an increased volume of submittals at the time your plans are submitted, the processing time could increase. Once your plans have been approved by the Building Dept. you will be notified that your permit is ready to be issued. At that time, you will be informed of the permit fees due.

VI **INSPECTION REQUIREMENTS**

All inspections must be requested one day in advance, minimum. Inspections called in after hours will not be logged in until the following business day, therefore, the inspection will occur a minimum of one day after the log-in date. Inspections are scheduled on a first-come first-serve basis, therefore, if you need an inspection in a specific time frame you will need to call in advance.

The inspection record issued with the permit lists the required inspections. If you are given a list of corrections, the corrections must be made and a reinspection called for before proceeding to the next phase of construction. If any items are covered prior to the reinspection, you will be required to uncover the work so the reinspection can be performed.

Each project must have an approved required inspection within 180 days from the permit issue date or from the last approved inspection to stay active; otherwise, the permit becomes null and void.

After passing ALL required inspections (including the final) the Building Department will sign the Certificate of Occupancy (final sign off of your job card is your Certificate of Occupancy). **DO NOT** move furniture into the building or occupy the building in any way until the Certificate of Occupancy is signed off.

CODES

2012 International Residential Code
2012 International Building Code
2011 National Electrical Code
Winnemucca Municipal Code 15.04

2012 Uniform Plumbing Code
2012 Uniform Mechanical Code
2009 International Energy Conservation Code
2012 International Fire Code

DESIGN CRITERIA

Wind load – Fastest mile wind speed is 90, 3 second gust is 105, exposure C (IRC)

Seismic zone - D1

Roof load - 20 lb. live load

Ground snow load - 5 lbs.

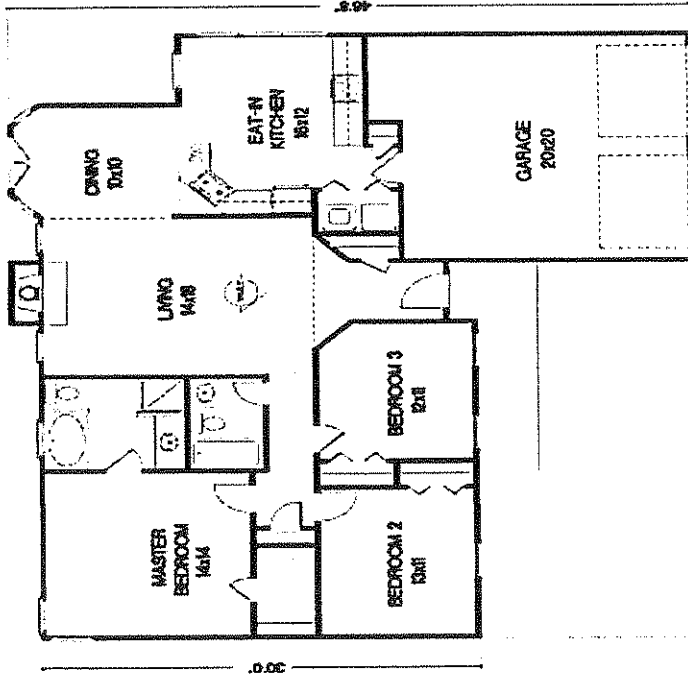
Frost depth - 24"

Soil classification - 2003 IRC Table R401.4.1

SW, SP, SM, SC, GM and GC - Sand, silty sand, clayey sand, silty gravel, and clayey gravel.

**HUMBOLDT COUNTY BUILDING DEPARTMENT
MINIMUM BUILDING PLAN REQUIREMENTS**

plans are required. Plans must be legible. If the residence is typical light frame construction the plans may be drawn by the owner/builder or contractor. PLEASE USE YOUR OWN SIZES AND DIMENSIONS. THE DRAWINGS ARE EXAMPLES ONLY. Plans shall be drawn to scale—the preferred scale is 1/4" = 1'

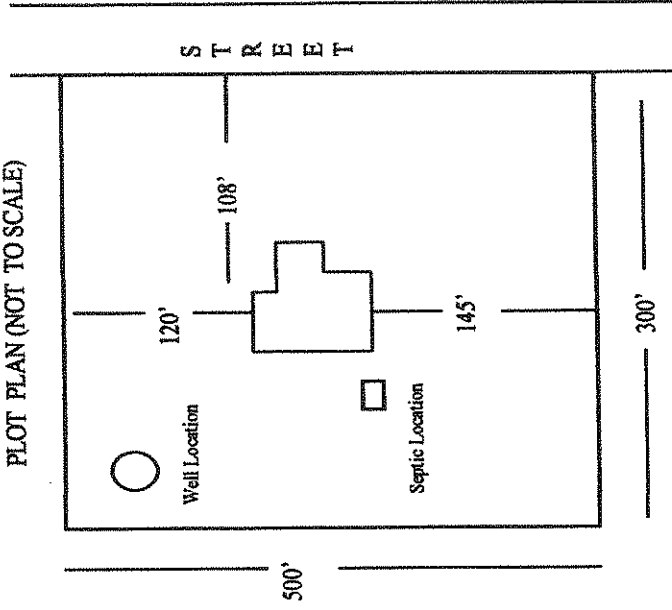


53'0"

FLOOR PLAN

INDICATE ROOM SIZES, IDENTIFY ROOM USES, LOCATION OF PLUMBING FIXTURES, APPLIANCES, DOORS, WINDOWS, FIRE-PLACE/WOODSTOVE, KITCHEN ISLANDS. ALSO INCLUDE WINDOW SIZES.

PLOT PLAN (NOT TO SCALE)



PLOT PLAN

SHOW THE SHAPE AND SIZE OF LOT OR ACREAGE, THE LOCATION OF THE STREET, THE LOCATION OF THE BUILDING ON THE LOT, WITH DISTANCES TO PROPERTY LINES. FOR ADDITIONS—INDICATE THE NEW ADDITION IN DOTTED LINES IN REFERENCE TO EXISTING STRUCTURES.

ADDITIONAL INFORMATION

Plans shall indicate address, owners name, contractor's name and license number.

Person Submitting Cross Section _____

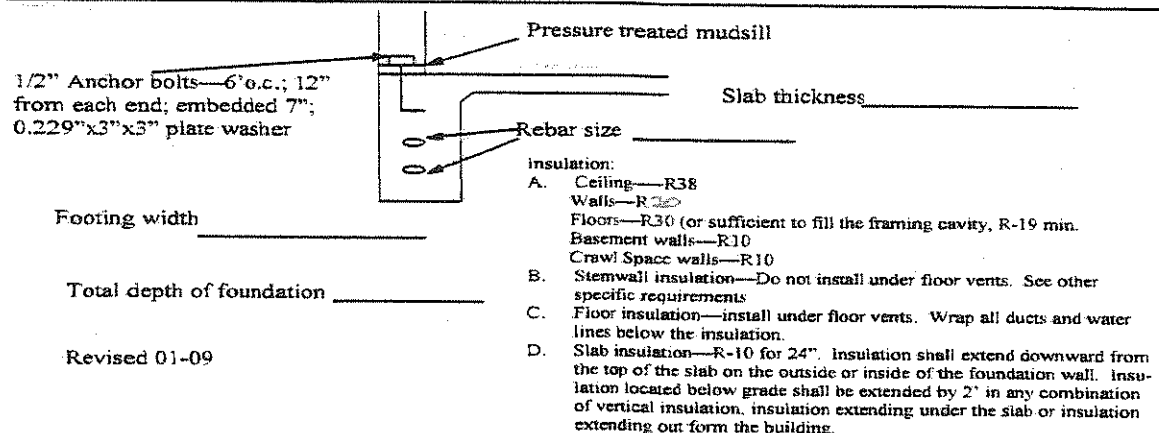
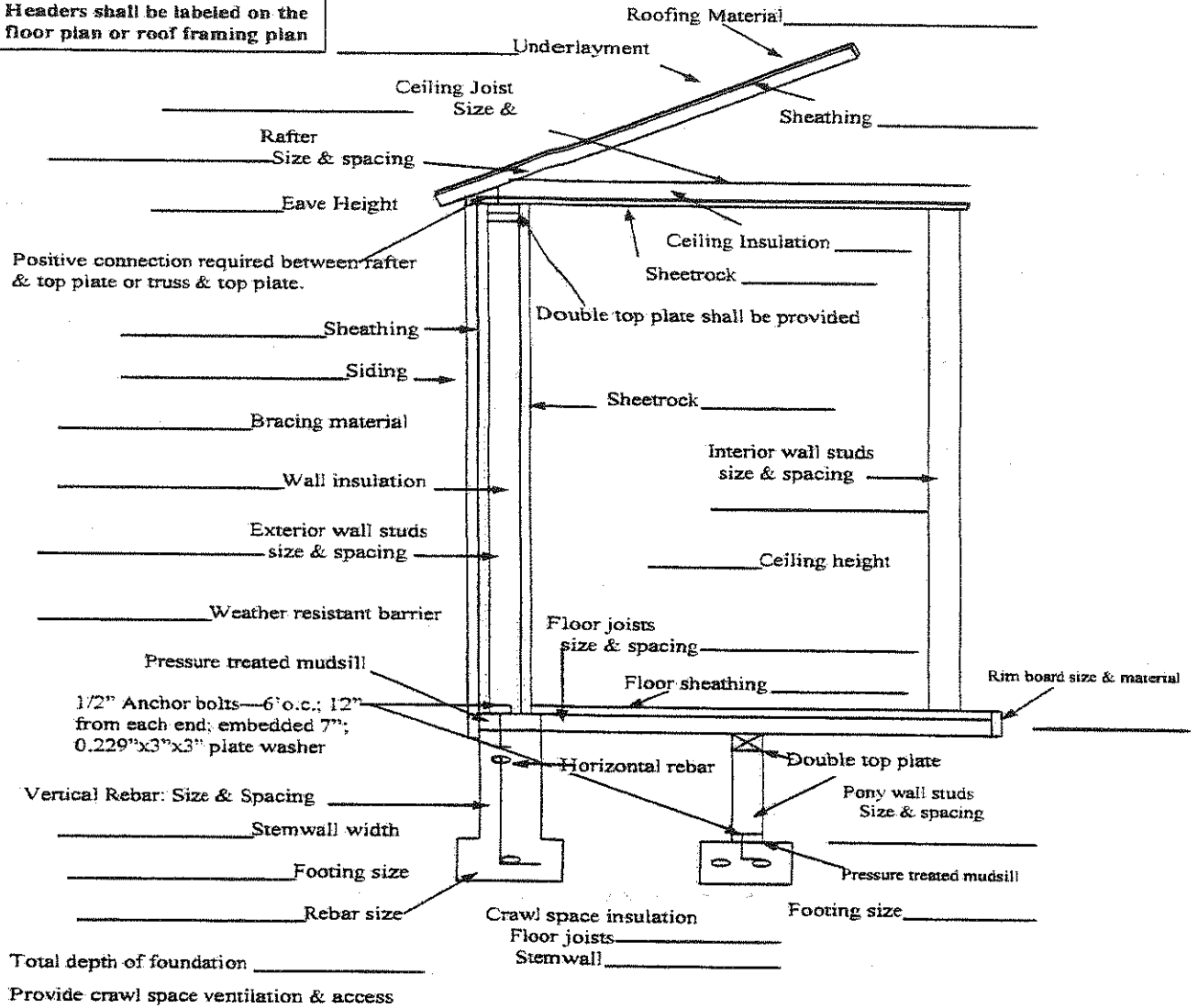
Job Address _____

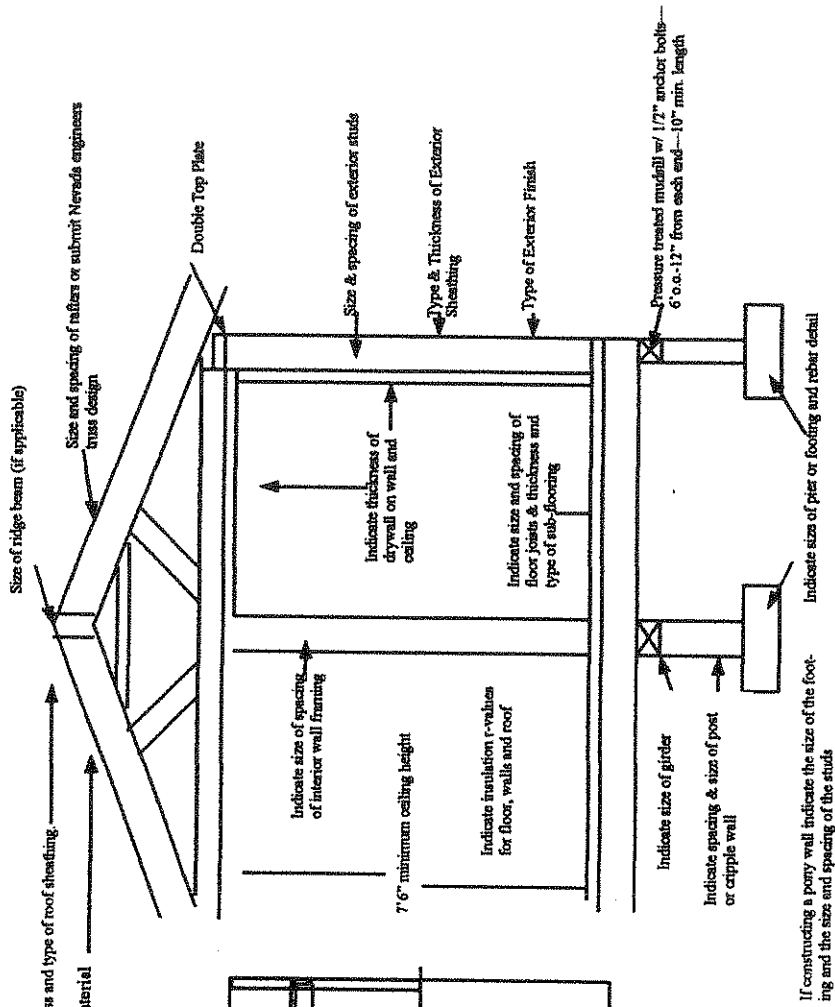
Date: _____

Engineered Truss System Yes No

Roof Slope _____

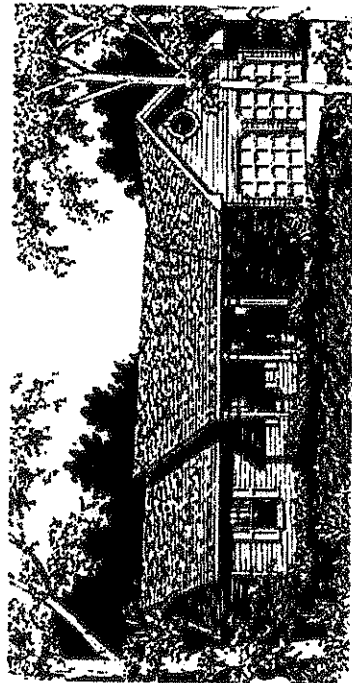
Headers shall be labeled on the floor plan or roof framing plan





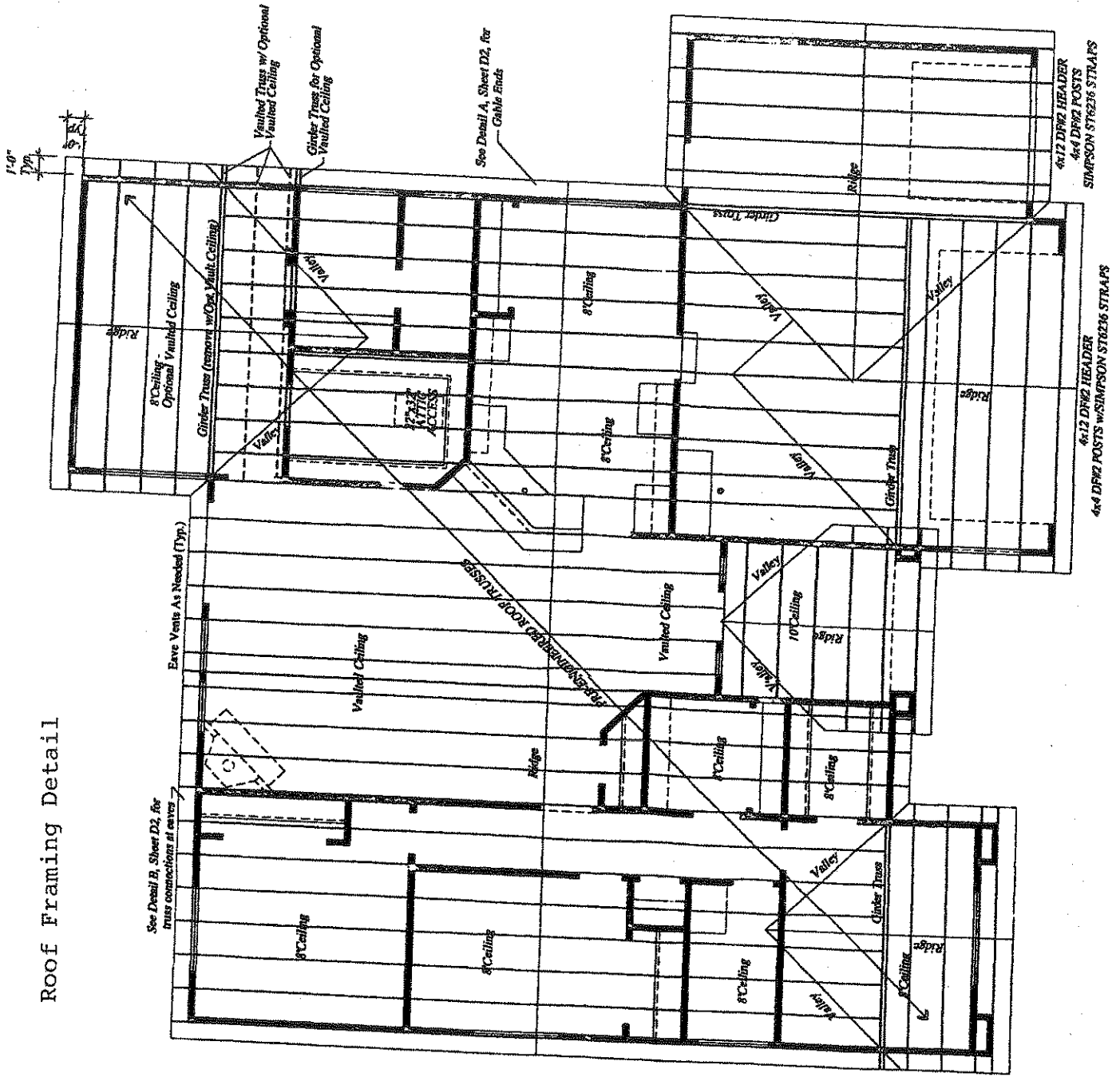
Cross Section—1/4" to 1"
 Show method of framing, roof pitch, roof braces, type of roofing, ceiling height, bearing partitions, posts, beams, header sizes over openings, foundation & finish grade.

FOUNDATION & FLOOR FRAMING DETAIL
 INDICATE SIZE AND SPACING OF FLOOR JOISTS.
 INDICATE ANY PONY WALLS OR POST FOOTINGS
 INDICATE CRAWL SPACE ACCESS LOCATION AND FOUNDATION VENT LOCATIONS



ELEVATIONS
 Show at least two or more elevations

Roof Framing Detail



See Detail B, Sheet D2, for truss connections at eaves

See Detail A, Sheet D2, for Gable Ends

Eave Vents As Needed (Typ.)

4x12 DFR2 HEADER
4x4 DFR2 POSTS
SIMPSON ST6236 STRAPS

4x12 DFR2 HEADER
4x4 DFR2 POSTS w/ SIMPSON ST6236 STRAPS

1'-0" Typ.
9'-0"

BASEMENT FLOOR LEVEL

Girder Truss (remains w/ Opt Vault Ceiling)

Vauban Truss w/ Optional Vaulted Ceiling

Girder Truss for Optional Vaulted Ceiling

8" Ceiling - Optional Vaulted Ceiling

Vaulted Ceiling

8" Ceiling

8" Ceiling

8" Ceiling

Vauban Ceiling

8" Ceiling

8" Ceiling

8" Ceiling

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